

NEW DWELLINGS & ADDITIONS

R5 LARGE LOT RESIDENTIAL ZONE

COMPLYING DEVELOPMENT INITIAL CHECKLIST

NSW SEPP (EXEMPT & COMPLYING DEVELOPMENT CODES) 2008

PROPERTY ADDRESS

LAND REQUIREMENTS (BLAYNEY LEP 2012)

- Property is not within a heritage conservation area or has a heritage item No
- Property is not identified as in a buffer area, environmentally sensitive land or has terrestrial biodiversity No

for a full list of the land requirements, see Clause 1.19 of the SEPP

BUILDING REQUIREMENTS

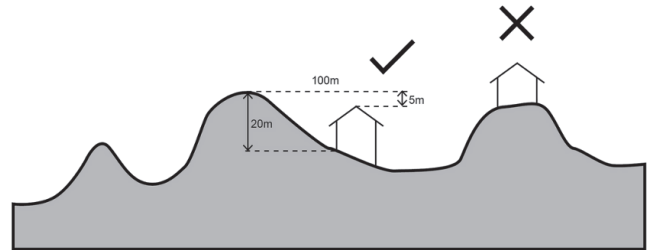
- Building has an existing septic tank with sufficient capacity, or Building has a recently approved s68, or A s68 application will be concurrently lodged with the CDC Yes
- Building will be located within any identified building envelope Yes
- Building will be a minimum 10m away from any power lines Yes
- Building will be a minimum 1m away from any easement, sewer or water main Yes
- Development is not an alteration or addition to a garage forward of the building line Yes

for a full list of exclusions, see Clauses 3D.3 and 3D.4 of the SEPP

DEVELOPMENT STANDARDS

- The lot (property) is greater than the minimum lot size specified in the Blayney Local Environmental Plan Yes
- The width of the lot is at least 18 metres when measured at the building line Yes
- There is only one dwelling on the property Yes
- If the lot is a battle-axe lot, have an access laneway of least 3 metres Yes NA
- If the lot is a corner lot, have a primary road frontage of at least 18m Yes NA
- The maximum building height is 8.5m above existing ground level for lots less than 4000m² or 10 metres for lots over 4000m² Yes

- For dwellings on lots greater than 4ha, the dwelling is sited below a hill or ridgeline as follows Yes NA



- The maximum floor area of all buildings on the lot with an area of less than 4000m² is 500m² Yes NA
- The primary road setback for dwellings on lots less than 4000m² is not less than the average setback of the 2 nearest dwellings on the same side of the road. Yes

If there are not 2 dwelling houses within 40m of the lot on the same side of the primary road, the dwelling and any attached development must have a minimum setback from the primary road of 10 metres for lots less than 4000m².

For lots greater than 4000m², the a minimum setback from the primary road is 15 metres

- If the lot is a corner lot, the secondary road frontage setbacks comply with the following table: Yes NA

Lot size	Minimum setback from secondary road boundary
<4000m ²	5m
>4000m ²	10m

- If the lot fronts a classified road, the building is set back at least 20 metres Yes NA
- The side boundary setbacks of the building comply with the following table: Yes

Lot size	Minimum setback from side boundary
<4000m ²	2.5m
4000m ²	10m

13. The rear setback of the building complies with the following table: Yes NA

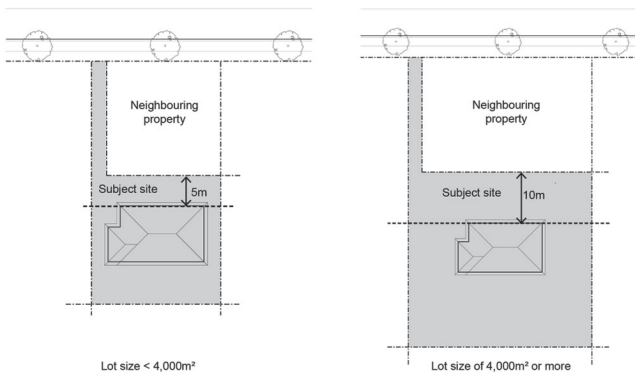
Lot area	Minimum setback from rear boundary
<1,000m ²	8m
1,000m ² -<4,000m ²	10m
4,000m ² or more	15m

14. The dwelling will have a setback of 250 metres from a boundary with adjoining land being used for any of the following: Yes NA

- (a) forestry
- (b) intensive livestock agriculture
- (c) intensive plant agriculture
- (d) mines and extractive industries
- (e) railway lines
- (f) rural industries

15. The building will have a setback of least 3 metres from a public reserve Yes NA

16. If the lot is a battle-axe lot, the front setback complies with the following diagram: Yes NA



17. The building does not result in any fill more than 600mm above the existing ground level within 1 metre of a boundary or sewer/water mains or a require a retaining wall greater than 600mm in height Yes NA

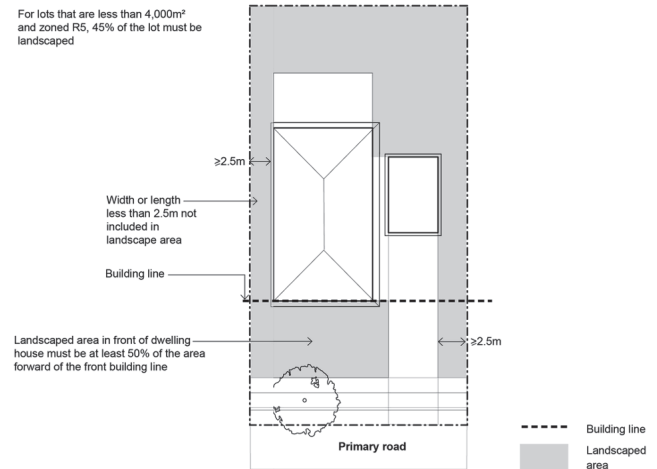
18. The building has a balcony, deck, patio, pergola, terrace or verandah attached to the side or rear of the dwelling only if the lot area is more than 300m² and the lot width at the building line is more than 10 metres Yes NA

19. The maximum height of any balcony, deck, patio, pergola, terrace or verandah complies with: Yes NA

Setback from the side or rear boundary	Maximum permitted floor level above ground level (existing)
<3m	2m
3m-6m	3m
>6m	4m

20. The total floor area of attached balconies, decks, patios, pergolas, terraces and verandahs that are within 6 metres from a side or rear boundary and have a finished floor level above existing ground level of more than 2 metres is no more than 12m² Yes NA

21. The landscaped area complies with the following and will be a minimum of 2.5m by 2.5m Yes NA



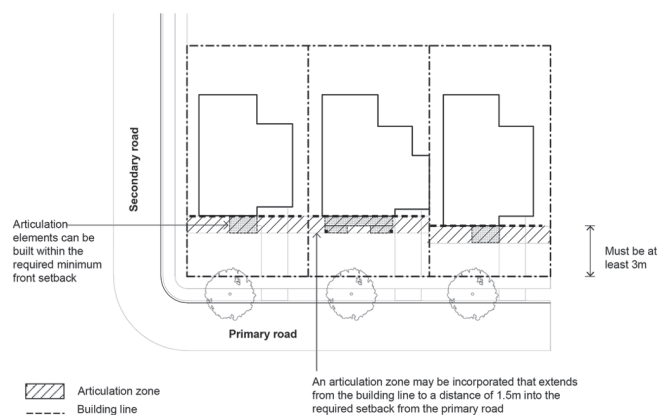
22. If dwelling is setback from a primary road less than 10m, the house must contain at least 1 door and 1 window to a habitable room at ground level facing the primary road. Yes NA

Does not apply to battle axe lots.

23. If the house is on a corner lot, it has a window facing the secondary road of at least 1m² Yes NA

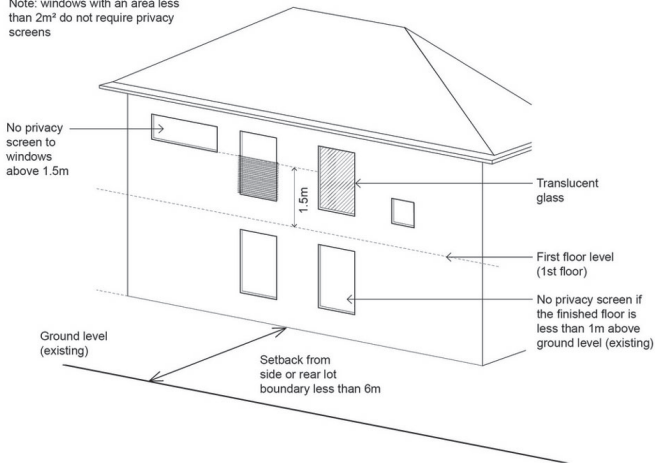
24. If the house has a primary road setback of less than 10 metres, it has building articulation elements, such as an entry feature, verandah, bay window or a step in the wall of at least 600mm, in the elevation that faces the secondary road Yes NA

For dwelling houses with a setback from a primary road of less than 10m and zoned R5



25. Privacy Screens are provided in accordance with the following diagram: Yes NA

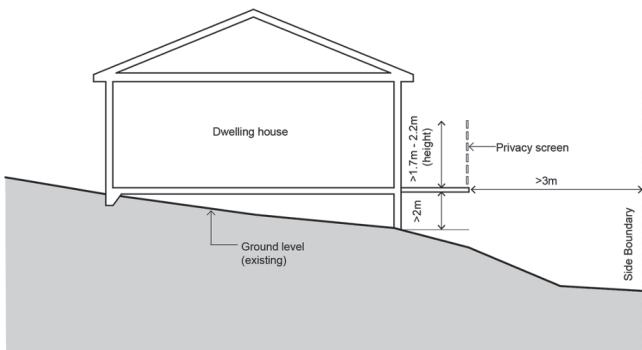
Note: windows with an area less than 2m² do not require privacy screens



26. Privacy screens are provided to balconies, decks, patios, pergolas, terraces and verandahs in accordance with the following: Yes NA

A balcony, deck, patio, pergola, terrace or verandah that has a floor area of more than 3m² must have a privacy screen installed at the edge of that part of the balcony, deck, patio, pergola, terrace or verandah that is parallel to or faces towards a side or rear boundary if:

- (a) that edge is less than 3m from the boundary and the balcony, deck, patio, pergola, terrace or verandah has a finished floor level of more than 1m above ground level (existing), or
- (b) that edge is at least 3m, but not more than 6m, from the boundary and the balcony, deck, patio, pergola, terrace or verandah has a finished floor level of more than 2m above ground level (existing).
- (c) Any privacy screen must be installed to a height of at least 1.7m, but not more than 2.2m, above the finished floor level of the balcony, deck, patio, pergola, terrace or verandah.

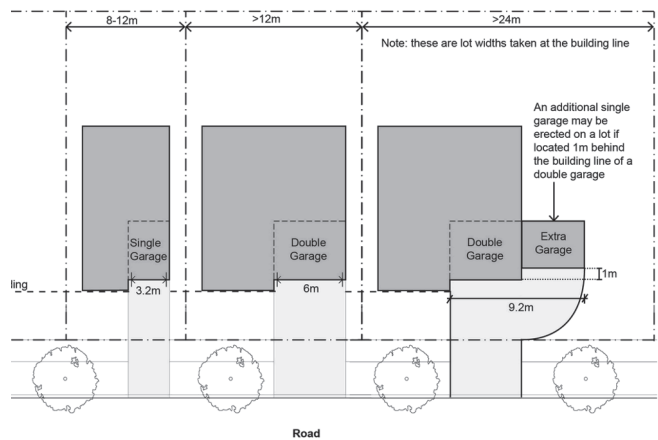


27. The property has at least one off-street carparking space behind the building line and complies as follows: Yes

Lot width at the building line	Maximum width of garage door openings
8m-12m	3.2m
>12m-24m	6m
>24m	9.2m

All off-street car parking spaces and vehicle access must comply with AS/NZS 2890.1:2004, Parking facilities - Off-street car parking.

The off-street car parking space for a battle-axe lot must be constructed so that vehicles can leave the lot in a forward direction.



28. All building work will comply with the Building Code of Australia (Volume 2) Yes

Note:
 Meeting all of the criteria above does not guarantee the proposed development will be approved as a CDC. The above criteria is the first screen for compliance.
 If you comply with all of the above, you should now proceed lodge your development as a CDC.
 Council will complete the assessment against all of the NSW State Environmental Planning Policy (Exempt and Complying Codes) 2008 to ensure 100% compliance.

COMPLYING DEVELOPMENT – PLANS & DOCUMENTS REQUIREMENTS

1. **A SITE PLAN** illustrates the whole development and shows all features on the site. The site plan will include a north point, site boundaries and dimensions, road frontage boundary, proposed and existing buildings, setbacks to boundaries, existing vegetation and proposed landscaping, private open space areas, parking and driveways, and easements. The site plan must include existing and proposed ground levels, as well as proposed floor levels, relative to a suitable datum. Details of the depth and extent of proposed cut and fill, and proposed retaining walls are to be shown as well as erosion and sedimentation controls. The method of roofwater and stormwater disposal should be indicated on the site plan. Contours should be indicated on site plans for proposed new dwellings and large additions.
 2. **DESIGN PLANS** show the architectural elements of the proposed building and works. The plans must include a dimensioned floor plan (including room names) elevations of all sides of the building indicating external finishes and BASIX requirements when applicable. A sectional detail is to indicate the footings, wall and roof construction as well as ceiling heights, levels and overall height.
 3. **STRUCTURAL PLANS** are for the major structural elements of the building, eg footings, slabs & structural steel, that are designed and certified by a professional engineer. The plans must include the relevant Australian Standards for the design and where applicable, reference the ground snow load for the relative altitude of the site, eg for sheds etc. The plans must be signed by the engineer and include details of their professional qualifications and/or accreditations.
 4. **BUILDING SPECIFICATIONS** are a detailed description of the proposed building materials and finishes.
 5. **A BASIX CERTIFICATE** for new dwellings, alterations and additions valued at \$50,000 or over, swimming pools with a capacity of over 40,000 litres.
- *All plans must be drawn to an appropriate scale, in ink and to professional drafting standards.*
 - *Please note that in addition to a CDC Application, additional applications for a Section 68 Approval for plumbing and drainage, or the installation of septic tanks may be required.*
 - *Should any proposed development require work on public roads or Council land (eg driveways), an application under Section 138 of the Roads Act will be required*

NOTES